

# TOWN OF ELMORE, VT

## Select Board Meeting

Meeting Minutes – prepared by G. Schwartz  
Status: Approved

Meeting Date: April 9, 2025

Start Time: 6:02 pm    Adjourn 7:53 pm

**Selectboard Members Present:**

- Caroline DeVore (Chair)
- Glenn Schwartz (Clerk)
- Sharon Fortune

**Meeting Attendees:** See attached attendance sheet

**Meeting Recording**

[https://us06web.zoom.us/rec/share/OITaRMXphDWg4Cw4P4qeqhuvBfxfbxEYW8D3mNmhF-esin\\_UycOBH8GkrS-phwdz.jyRAAtM3KUkrflr5?startTime=1744235863000](https://us06web.zoom.us/rec/share/OITaRMXphDWg4Cw4P4qeqhuvBfxfbxEYW8D3mNmhF-esin_UycOBH8GkrS-phwdz.jyRAAtM3KUkrflr5?startTime=1744235863000)

Passcode: ZEW8Q%49

**Passcode:** T.6!Ujt4

Recording will be available for a minimum of 30 days from the meeting date.

- 
- **Call To Order:** C. DeVore
  - **Review/approve previous meeting's minutes –**
    - The board reviewed the minutes from the March 12, 2025 meeting. During this review, resident Warren West raised a concern that the minutes did not adequately reflect a budget discussion from the prior meeting. Specifically, he noted the omission of a conversation regarding an unanticipated \$500,000.00 deficit in the Highway Maintenance budget. The board agreed to revisit and revise the March 12 minutes for accuracy and detail. In addition, Sharon Fortune stated that her name was listed as town treasurer instead of Sharon Draper  
  
**Decision:** Approval of the March 12, 2025 minutes was tabled. Revised minutes will be presented at the May 14, 2025 meeting.
  - **Review additions or deletions to today's agenda**
    - No additions or deletions were made.
  - **Conflict of Interest review for agenda item**
    - No conflicts of interest were reported
1. **SPECIAL TOPICS (Note: Topic will be addressed for time noted with follow-up as needed and noted by the SB.)**
- a. **DISCUSSION:** Stormwater Mitigation: Raingarden: Peter Danforth presenting the new planting schedule

# TOWN OF ELMORE, VT

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**Notes:** Peter Danforth introduced a revised planting plan for the town's stormwater rain garden and shoreline in the vicinity of the Town Hall. He highlighting the use of native species for improved water absorption and stabilization of the lake bank. The plants are scheduled to be installed on May 20<sup>th</sup> or the 21<sup>st</sup>. The public inquired about maintenance commitments and Peter agreed to draft a seasonal volunteer calendar. The planting heights were confirmed to be 3' or under at maturity – plants can be pruned to selected height if necessary. An additional project at the boat launch area will also take place this summer. This project is on Fish and Wildlife property and has been approved by them.

A motion was made by C. DeVore to accept the planting list as presented. S. Fortune seconded the motion. The motion was unanimously approved by the Select Board.

- b. UPDATE:** Elmore BF 0241(55) Culvert Replacement Project (Bridge #94) and Elmore STP CULV(64) Culvert Replacement Project (Bridge #90) on Vermont Route 12.

**Notes:** As per the attached information from the Vermont Agency of Transportation Construction activities are slated to begin on Monday, May 12, 2025. Elmore BF 0241(55) Culvert Replacement Project and Elmore STP CULV(64) are scheduled for this year. Two additional projects will be occurring at the same time in Worchester. Residents going south on Route 12 this summer will experience some delays.

## 2. ACTIVE ITEMS

- a. UPDATE/APPROVAL:** Town Hall: Renovations and roofing repair update / bid review

**Notes:**

- Bannister's partial roof replacement proposal was approved by the insurance company in the amount of 22,210.60 plus \$325.00 for the temporary repairs. When the repairs are complete, the Town may present an additional claim for up to \$1,843.48 in depreciation held back under the replacement cost provisions set forth in the coverage documents. The insurance company excluded the additional cost to add the plywood roof deck as they consider it an upgrade not subject to the benefits afforded under the municipality's coverage documents. The cost benefits of spending the additional amount of \$6,045.00 was discussed. They excluded because they believe that.

A motion was made by S. Fortune to proceed with the additional cost to add the plywood roof deck. G. Schwartz seconded the motion. The motion was unanimously approved by the Select Board.

- The door replacement project will be completed this Friday
- The revised proposal from the Elmore Community Trust for the stair and ramp replacements was reviewed and discussed (copy attached).

A motion was made by G. Schwartz to accept the proposal as written. S. Fortune seconded the motion. The motion was unanimously approved by the Select Board.

- b. UPDATE:** Town Garage – maintenance update

**Notes:**

1. MSI will be at the Elmore town garage to fill in the roof ends with closed cell spray foam to prevent bird entry at the 4 corners of the building by the end of next week, if the weather allows (the week after at the latest if weather delay)

## **TOWN OF ELMORE, VT**

### **Select Board Meeting**

2. CCS and Village builders plan to be on site in May to replace the insulation below the ridge cap and seal the gaps with closed cell spray foam.

- c. **UPDATE: Appointments:** DRB and EPC board positions; any outstanding appointments/discussions)

**Notes:**

- Town Health Officer: State filing completed 3/31/25
- DRB appointments  
A motion was made by G. Schwartz to reappoint Mike Furst and Caroline DeVore to 3-year DRB terms and Tom Waldman as 1-year term as an alternate. S. Fortune seconded the motion. The motion was unanimously approved by the Select Board with the exception of C. DeVore who abstained.
- EPC appointments  
Existing members to remain. A motion was made by G. Schwartz to appoint Merrill Towne as an alternate for a 1-year term. S. Fortune seconded the motion. The motion was unanimously approved by the Select Board

- d. **UPDATE:** Training: COI & Open Meeting Law;  
NOTE: Free Member Webinar from VLCT, Wednesday, April 16<sup>th</sup> Open Meeting Law for Board & Committees [REGISTER](#)  
(Open Meeting Law for Boards and Committees | Vermont League of Cities and Towns)  
[https://www.vlct.org/events/OMLBrdsCm\\_250416](https://www.vlct.org/events/OMLBrdsCm_250416) Type into your browser if link unavailable.

**Notes:** S. Fortune reminded members of the VLCT Open Meeting Law webinar on April 16, 2025 (10:00am – 11:30 am) and encouraged participation. Conflict Of Interest training and Open Meeting Law training is required of all town officers, board members and employees by 6/30/25. S. Fortune to notify all of this requirement and provide training options.

- e. **DISCUSSION:** Approach to Town SOPs

**Notes:** S. Fortune proposed a SOP Committee to standardize and update local operating procedures. Suggested composition: S. Fortune, G. Schwartz, and Nancy Davis. A meeting was set for April 28, 2025 to review the following draft SOP's

- Contacting the Towns Attorney
- Open Meeting Law
- Annual review by the Select Board

C. DeVore will post a warning for this meeting

- f. **UPDATE:** Town Hwy Equipment Replacement Planning; RFP for Contracting Draft out for review (DeVore/Lacasse)

**Notes:** A draft RFP focused on truck and equipment replacement is under internal review by the Select Board.

# TOWN OF ELMORE, VT

## Select Board Meeting

### 3. CONTINUING ACTIVE ITEMS (Update status by primary owner)

#### a. UPDATE: Community Communication

##### i. Pilot GPT: Town of Elmore Custom GPT "Ask Me Anything"

GPT=Generative Pre-trained Transformer; a type of large language model that uses deep learning to generate human-like text and understand language – developed by Open AI. Two volunteers needed for testing.

**Notes:** C. DeVore introduced the Town of Elmore GPT pilot and blog updates. C. Schwartz and Colin Reynolds volunteered to test the GPT system and work with C. DeVore.

##### ii. Elmore Blog: Two new (ZA Roles; Understanding Hwy and Equipment Reserve Funds)

**Note:** Signing into the public meeting => Understanding that your attributed questions may appear in Blogs and on FPF

**Notes:** C. DeVore stated that two new blogs have been posted. They are ZA Roles and Highway & Equipment Reserve Funds (how does it work).

#### b. UPDATE: Road Commissioner's Report

**Notes:** See attached Road Commissioner's Report

#### c. UPDATE: Zoning Administrator's Report (10 min)

Note: Proposed Zoning Fee schedule dated 2-20-2025 for adoption effective May 1st, 2025

#### Notes:

- See attached Zoning Administrator's Report
- The Proposed Zoning Fee schedule dated 2-20-2025 (see attached) for adoption effective May 1st, 2025 was reviewed and commented on.
- A motion was made by G. Schwartz to accept the Proposed Zoning Fee schedule dated 2-20-2025 for adoption effective May 1st, 2025 as presented. S. Fortune seconded the motion. The motion was unanimously approved by the Select Board.

### 4. PUBLIC COMMENTS (Speakers may comment for up to 2 minutes. Total agenda time of 10 minutes unless Chair contacted in advance.)

#### Notes:

Waren West stated that it was his understanding that if the Town passes a budget the Department heads need to stay within that budget and if they go over or need to go over that budget, then that decision needs to come back to the Select Board for approval. He also stated that he believes that it is the Select Board's responsibility to have that conversation in front of the public to understand where the money is coming from. Waren also suggested that an attorney be contacted to look into this situation.

**TOWN OF ELMORE, VT**  
**Select Board Meeting**

**5. NON-AGENDA/OTHER ITEMS** (Time Available and As Needed)

- a. **APPROVE:** Town Road and Bridge Standards annual submission

**Notes:** The Town Road and Bridge Standards annual submission was signed by the Select Board.

- b. Routine Administrative, operations items and payment approvals.

**Notes:** The Check Warrant Reports were reviewed and approved at this meeting.

**Motion To Adjourn**

Motion: G Schwartz moved to adjourn. C. DeVore seconded.

Vote: Motion passed unanimously.

Meeting Adjourned at 7:53 PM.

**Next meeting: May 21, 2025 @ 6:00pm. Requests to be on the SB agenda must be received by the Chair before the last Friday of the preceding month.**

Minutes Respectfully Created and Submitted by:

*Glenn Schwartz*

4/11/25

Town Of Elmore  
Meeting Attendance Record

ENTER MEETING DATE:	4/9/25
ENTER MEETING NAME:	Select Board Meeting

CHECK ALL THAT APPLY
REASON FOR ATTENDING

Reason for Attendance

YOUR NAME (printed)	Observer	Interested Party	Principal Party	Expert or Consultant	WHY ARE YOU ATTENDING?
Gloria Schwartz					DRB Member
<del>Shirley</del>					Tax Payer
Peter Paulorick				X	Presenter
Meg Carter				X	Project Partner
George Keesler	X				Citizen
Warren West	X				"
Don Valentine	X				"
Ken Haggard	X				Rain Garden
Trevor Braun					Town Hall
Nancy Davis					citizen
Jason Cohen	X				citizen
Caroline Bellone					DRB Member
Kathy Miller					wanted to
Shelby Rydz	X	X			Resident
Dawn Angrey-Kress					Resident
Sharon Fontana					Selectboard

Town Of Elmore  
Meeting Attendance Record

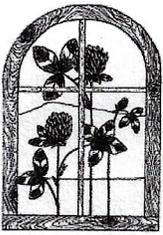
ENTER MEETING DATE:	4/9/25
ENTER MEETING NAME:	Select Board Meeting

CHECK ALL THAT APPLY
REASON FOR ATTENDING

Reason for Attendance

YOUR NAME (printed)	Observer	Interested Party	Principal Party	Expert or Consultant	WHY ARE YOU ATTENDING?
Judy Cass					Zoom Res
June McKinley					Zoom Res
Murph					Zoom Res
Faith Bondra					Citizen
Mike McAlthi					Citizen
Sue Mercia					31
Craig Mercia					11
COLIN REYNOLDS	X				OBSERVE
Cheryl Schwartz		X			Concerned Citizen
Tina Lefan	✓				Resident
AnnMarie Dryden					Resident





ELMORE  
COMMUNITY  
TRUST

**Board of Trustees**

4/6/24

**Blair Marvin**  
*Chair*

Re: Updated proposal for revised scope of Town Hall work

**Mark Isselhardt**  
*Vice Chair*

To the Elmore Select Board,

**Jason McLean**  
*Treasurer*

The mission of the Elmore Community Trust is to care for the places that make Elmore special. Not only is the Elmore Town Hall a historic and special building in itself, but it also serves as the venue for some of our community's most treasured traditions and gatherings. Maximizing the potential utilization of the beautiful Town Hall is a clear priority of the community and ECT respectfully proposes a limited construction project funded and managed by our organization to replace the three main means of egress from the building: the front staircase, the front ramp and the rear staircase on the southwest corner of the building.

**Trevor Braun**  
*Secretary*

**Jon Osborne**

**Kate Sprague**

ECT recognizes the importance of preserving historic structures in a way that addresses three primary concerns: 1) Realizing the fullest potential of the space for the greater good of the community, 2) Thoughtful, high quality design and construction that increases the value of the space and endures for decades, 3) Adherence to historic preservation guidelines.

**Caleb Suddaby**

**Jamie Ella DiSabatino**

**Charlotte Buchanan**

With ECT's community focused mission and practical experience with these concerns, our organization is in a unique position to undertake this project on behalf of the Town of Elmore and the Elmore community.

*Emeritus*

**Jill Lindenmeyr**

**Project Scope**

The primary scope of the project will include:

- 1) Replacement of front ramp/staircase set with new pressure treated lumber, ADA compliant ramp and staircase, including code compliant hand railings.
- 2) Replacement of rear staircase with new, pressure treated lumber staircase and hand railings.
- 3) Any other required site work or building repairs necessary to support the replacement of the staircases and ramp up to \$500.

**Project Management**

The Elmore Community Trust proposes to act as the manager of the scope described above. All work will be performed by licensed and insured contractors. Design and construction will meet all current Vermont State building code requirements as well as the latest Vermont historic preservation building practices and guidelines. All necessary permit applications will be filed with State and local authorities with copies of certificates provided to the Elmore Select Board upon receipt. Certificates of insurance from all contractors will be provided to the Town Clerk prior to the start of any work.

**Oversight and Accountability**

As a municipally owned structure, ECT understands the need for oversight by representatives of the Town. Unless otherwise requested, ECT will provide a written progress report to the

Elmore Select Board prior to the start of the project and at the conclusion of the project. Additional reports will be submitted upon request. ECT will also present a final in-person review of the project at its completion. As the property owner, the ESB will retain full authority over the scope and execution of the project.

### **Funding**

While the full projected cost of the project is not yet determined, ECT projects the cost to be no greater than \$3,500. ECT proposes to fund this project in the amount of \$3,500 and further proposes that any project costs in excess of \$3,500 be funded by the Town of Elmore. If this project proposal is accepted by the ESB, ECT will seek potential grant funding, but will be prepared to support up to \$3,500 of costs of the project without any external funding sources. The final estimates for the work will be approved by both ECT and the ESB.

### **Timeline**

If approved by the ESB, ECT will begin design work immediately.

-April/May - Design/design review, Funding search

-May/June - Construction

-Mid-June - Expected completion date. Walkthrough with ESB and fire marshal.

Timeline is subject to contractor and material availability. Significant deviations from timeline will be discussed with ESB via the monthly progress report. Actual construction schedule will be coordinated with the Town and other interested community organizations.

We appreciate your consideration. If you have any questions, please feel free to contact us at [info@elmorecommunitytrust.org](mailto:info@elmorecommunitytrust.org).

Sincerely,

Trevor Braun

The Elmore Community Trust Board of Trustees

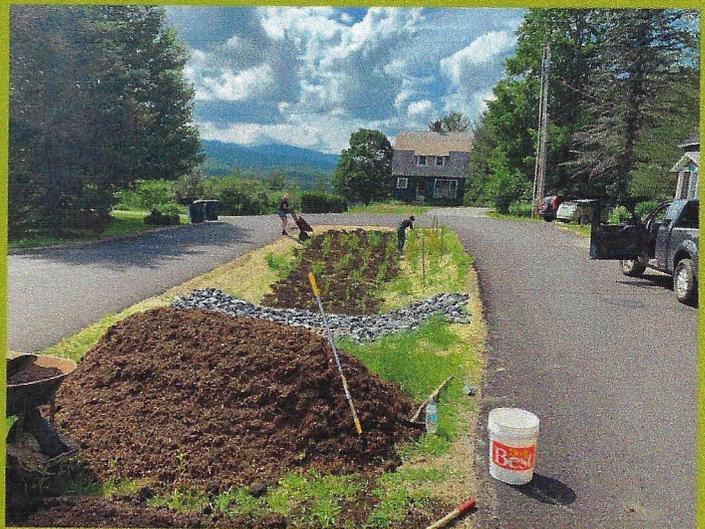
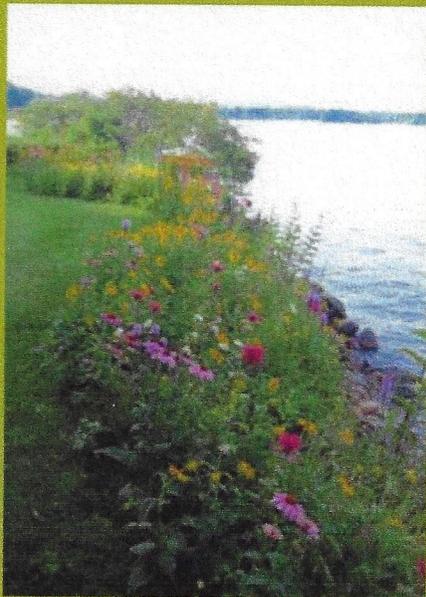
Elmore Community Trust, Inc. A 501(c)(3) Tax-Exempt Organization

EIN: 85-0623566

*No goods or services were provided in exchange for this generous, tax-deductible gift.*

# ELMORE SELECTBOARD MEETING APRIL 9, 2025

THE THIRD AND FINAL MEETING ON  
STORMWATER MITIGATION REGARDING THE  
REVISED RAIN GARDEN PLANTING SCHEDULE  
WILL BE DISCUSSED AT BEGINNING OF THE  
SELECTBOARD MEETING AT 6:00 PM  
GO TO [HTTPS://ELMOREVT.ORG/](https://ELMOREVT.ORG/) FOR MORE  
INFO



Low-growing shrub options to choose from for  
the Elmore Store shrub planting area:

- Low-Bush Blueberry
- Dwarf Red Osier Dogwood
- Low-Growing Sumac
- Lowbush Honeysuckle
- Creeping Juniper
- Shrubby Cinquefoil
- Sweet Fern
- Snowberry

Herbaceous plants, that we came  
up with last year:

- Bee Balm
- Brown Eyed Susan
- New England Aster
- Purple Coneflower
- Wild Indigo
- Wild Lupine (not often  
available from the nursery we  
like, but could get seed)
- Blue Flag Iris



## ELMORE BRIDGE BR#94

### BF 0241(55) Elmore

**Replace culvert with precast concrete box or open bottom buried structure.**

**Project Location: Town of Elmore in Lamoille County on VT Route 12 over unnamed brook. The bridge is located approximately 5.6 miles south of the junction with VT Route 15A.**

#### Project Milestones

Contract Award

November 7, 2024

Target Construction Schedule

Spring 2025 - Fall 2026

Estimated Cost

\$1,759,072.25

The Elmore Bridge 94 project includes the replacement of the existing Aluminum Coated Corrugated Galvanized Metal Plate Pipe (ACCGMPP). The existing culvert was built in 1959 and has a span of 6-feet and is 74 feet long. There is an average of 10 feet of fill over the culvert. The structure currently has a culvert rating of 5 (Fair), and a channel rating of 4 (Poor). While the culvert is in fair condition, there are holes throughout the invert up to 2-inches in diameter.



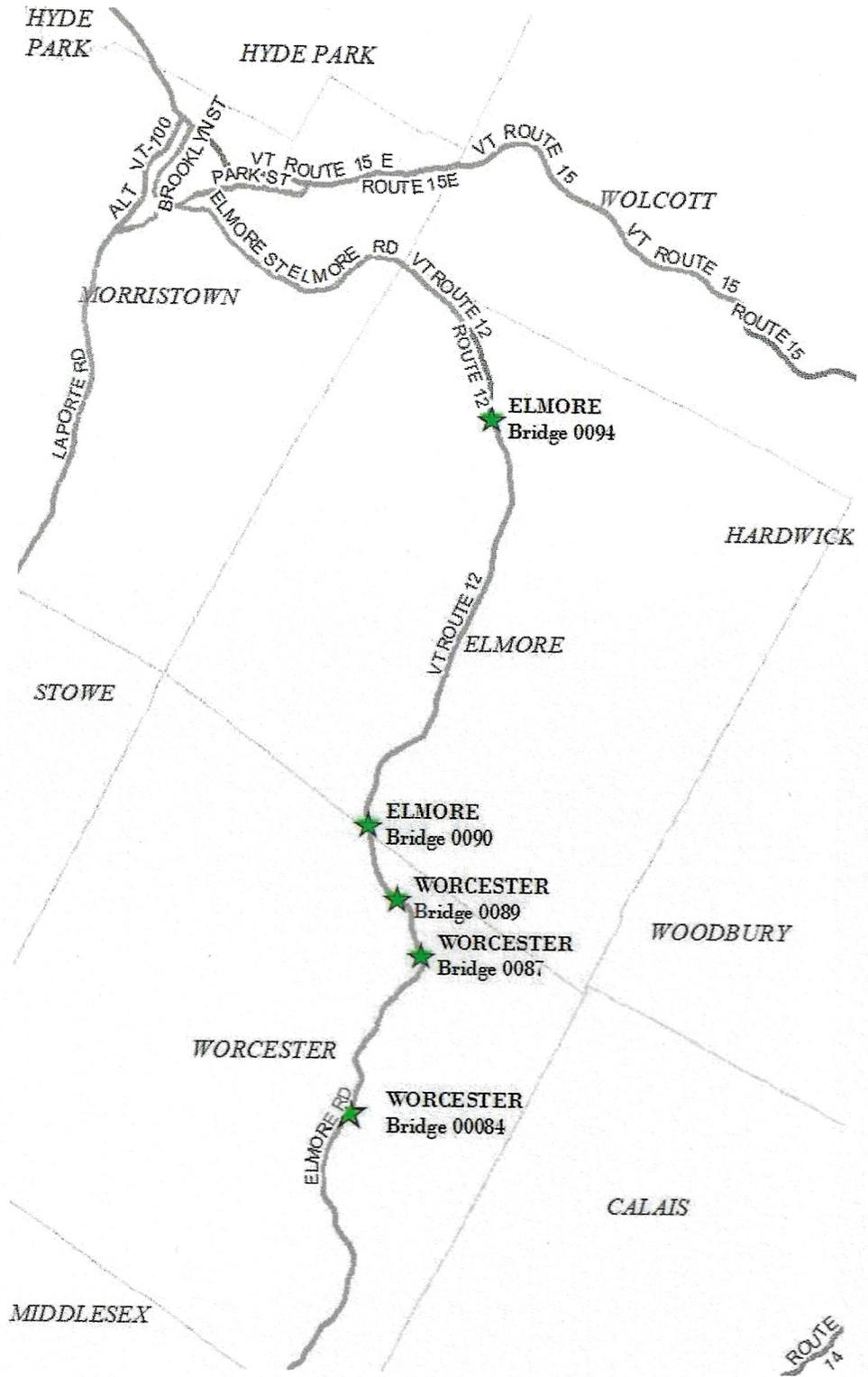
VTrans evaluated alternatives for rehabilitation or replacement of the bridge in an engineering study completed in April 2020. This study assessed the proposed design criteria for the structure, right-of-way, rare/threatened/endangered species impacts, hydraulics, and archaeological resource impacts. Several alternatives were considered, including: no action, invert repair, culvert liner, replacement with a new culvert, and replacement with a bridge. An offsite detour, phased construction, and a temporary bridge were evaluated as potential maintenance of traffic options.

Given the age of the structure, substandard hydraulics, site constraints and current conditions, the engineering study recommended a full bridge replacement with a new precast box or 3-sided frame while maintaining traffic with phased construction.





One lane of alternating traffic will be maintained during construction. Traffic will be maintained on a temporary bridge.



Project Location Map

Link to project website:

<https://outside.vermont.gov/agency/vtrans/external/Projects/Structures/19B212>  
(<https://outside.vermont.gov/agency/vtrans/external/Projects/Structures/19B212>)

## Contact Information

**\*\*Please note:** Contractors are to direct all inquiries to [Contract Administration](https://vtrans.vermont.gov/contract-admin) (<https://vtrans.vermont.gov/contract-admin>) during project advertisement.

### **Public Information Consultant**

Sophia Schintzel

(781) 400-8263

sophia.schintzel@wsp.com

[Contact VTrans \(https://vtrans.vermont.gov/contact-us\)](https://vtrans.vermont.gov/contact-us)

### Technical Documents

<https://outside.vermont.gov/agency/vtrans/external/Projects/Structures/19B212>



## ELMORE BRIDGE BR#90

### STP CULV(64) Elmore

#### REPLACEMENT OF BRIDGE NO. 90.

#### Project Milestones

Contract Award

November 7, 2024

Target Construction Schedule

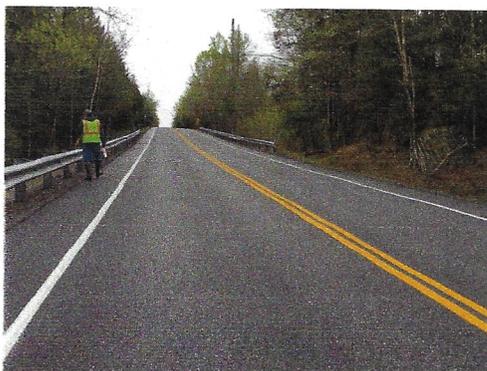
Spring 2025 - Fall 2026

Estimated Cost

\$5,535,924.50

**Project Location: Town of Elmore in Lamoille County on VT Route 12 over unnamed brook. The bridge is located approximately 11.0 miles south of the junction with VT Route 15A.**

The Elmore Bridge 90 project includes the replacement of the existing Corrugated Galvanized Metal Plate Pipe (CGMPP). The existing culvert was built in 1964 and has a span of 6-feet and is 208 feet long. There is an average of 18 feet of fill over the culvert. The structure currently has a culvert rating of 3 (Serious), and a channel rating of 4 (Poor). There is heavy rust scaling and holes throughout the invert. The pipe has buckled under the roadway and cracks have formed.



Looking South on VT Route 12 over Bridge 90

VTrans evaluated alternatives for rehabilitation or replacement of the bridge in an engineering study completed in May, 2020. This study assessed the proposed design criteria for the structure, right-of-way, rare/threatened/endangered species impacts, hydraulics, and archaeological resource impacts. Several alternatives were considered, including: no action, replacement with a new culvert, and replacement with a bridge. An offsite detour, phased construction, and a temporary roadway were evaluated as potential maintenance of traffic options.

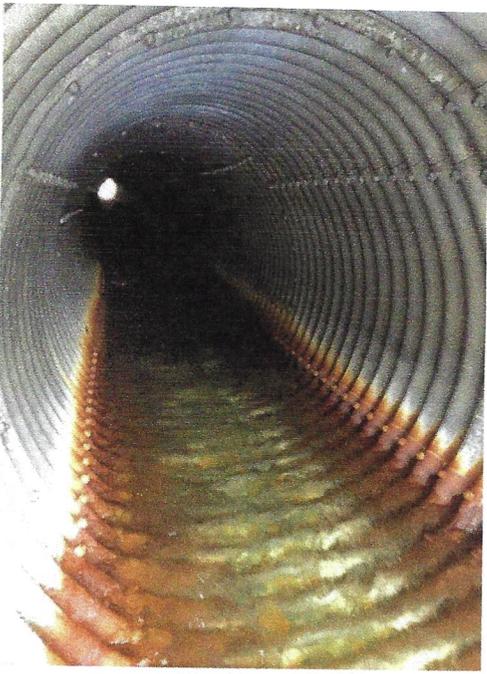
Given the age of the structure, substandard hydraulics, site constraints and current conditions, the engineering study recommended a full bridge replacement with a bridge while one lane of alternating traffic is maintained during construction.

One lane of alternating traffic will be maintained during construction. Traffic will be maintained on a temporary bridge.



Culvert Inlet

Link to project website:  
<https://outside.vermont.gov/agency/vtrans/external/Projects/Structures/18B003>  
(<https://outside.vermont.gov/agency/vtrans/external/Projects/Structures/18B003>)



Culvert Barrel

## Contact Information

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### Public Information Consultant

Sophia Schintzel  
(781) 400-8263  
sophia.schintzel@wsp.com

Contact VTrans (<https://vtrans.vermont.gov/contact-us>)

### Technical Documents

(<https://outside.vermont.gov/agency/vtrans/external/Projects/Structures/18B003>)



**Bannister Custom Exteriors**  
91 Morse Drive  
Fairfax, VT 05454  
Phone: 802-862-7850

# Elmore Town Hall Roof Replacement (Partial)

04/02/2025

**Company Representative**  
Ryan Bannister  
Phone: (802) 862-7850  
ryan.bannisterexteriors@gmail.com

**Elmore Select Board**  
1192 VT-12  
Lake Elmore, VT 05657  
(802) 888-2637

Job: VT-4915: Elmore Select Board

## Standing Seam Metal Roof Replacement - Southside Main Roof Only

This does not include the tower or the rear addition on the south side of the building. Only the upper main roof is included.

### Materials & Labor - Standard

#### Removal of Existing Roof System - Per Square

Includes the removal of a single roof system only (one layer of roofing, underlayment, and edge metal). This estimate does not cover the replacement of any rotten or damaged plywood or adjacent trims. Additionally, this estimate does not encompass the removal of the 2x strapping or the asphalt roofing currently beneath the existing metal roofing. The new roof system will be installed over new plywood roof decking attached to the existing strapping.

Standing Seam Panel, 1-1/2" Mech. Lock - 20", Englert 24 GA Steel - Galvalume, Standard Colors

Installation of Standing Seam Roofing - Per Square

Galvalume Drip Edge - Standing Seam, Custom - Englert 24 GA Steel, Painted (Standard Colors)

Galvalume Ridge/Hip Cap - Standing Seam, Custom - Englert 24 GA Steel, Painted (Standard Colors)

Galvalume Vented Ridge Cap - Standing Seam, Custom - Englert 24 GA Steel, Painted (Standard Colors)

Ridge Vent, Snap Z, Z-1750, 26 GA w/Applied Butyl, Black

Galvalume Head Wall Flashing - Standing Seam, Custom - Englert 24 GA Steel, Painted (Standard Colors)

Galvalume Sidewall Flashing - Standing Seam, Custom - Englert 24 GA Steel, Painted (Standard Colors)

Metal Flashing - Fabrication

PS Grip-Rite Shingle Layment-HT

Full Coverage

Panel Fixed Clips, Englert - 1.5", Galvalume .018"

Low Profile Clip Screws, Simpson QuickDrive, #10 x 1" ULP Quick Guard Coating

Hex Screws w/Bonded Sealing Washer, Englert - 1.5" x #14 x 13 DP1, Standard Colors

Pop Rivets, Englert - 1/8" x 3/8" Grip Rivet (#44) SS, Standard Colors

Generic Electro-Galvanized Staples - 3/8"

Butyl Tape, Englert - 3/16" x 7/8" - Double Beaded

Tri-Built All-Weather Roof & Construction Sealant - Crystal Clear

Touch-up Paint, Englert - Standard Colors

5/4-in x 6-in (A & Better Clear) Western Red Cedar Board

Included for the new roof-to-wall flashing connection points. The existing siding will be cut back and counterflashed with new painted trim and a drip cap flashing.

Drip Cap, Galvalume Steel, Englert - 24 GA - Standard Colors

Bostitch, 2-3/16" x .090" (15GA) - 15 Degree, Stainless Steel - Pneumatic Siding Nails RS

Benjamin Moore, Regal Select MoorGlo Exterior Acrylic Latex Paint

Purdy, White Dove Jumbo Mini Roller Kit  
 Sherwin-Williams, Contractor Series Nylon/Polyester Angled Sash Brush  
 Siding/Trim, General Labor, Per Hour  
 Debris Removal  
 Includes the removal of the construction debris from the job site.  
 Debris Disposal  
 Construction debris disposal.  
 Travel Expense  
 Equipment Rental - Portable Restroom

**\$22,210.60**

**Plywood Deck Installation**

The new plywood deck will be installed over the existing 2x strapping.

Materials & Labor - Standard  
 Advantech, 5/8" x 4' x 8' OSB T&G Sheathing  
 Bostitch, 2-3/8" x .120" (8D) - 28 Degree, Galvanized Steel - Pneumatic Framing Nail  
 Plywood Replacement - Per Sheet

**\$6,045.00**

**TOTAL**

**\$28,255.60**

**Note:**

As part of a comprehensive roof replacement project, it is common to identify additional services that may be necessary. These services may include but are not limited to:

- Plywood Replacement: 1/2" CDX - \$135 per sheet; 5/8" CDX - 140 per sheet; 3/4" CDX - \$145 per sheet
- Plywood Installation (Layover): \$110 per sheet (1/2" CDX). Any existing roof deck with skip sheathing, spaced or uneven natural boarding, undersized plywood, or plywood joints more than 1/4" apart throughout the roof will require a plywood overlay to meet manufacturers' installation requirements and code.
- Additional Tear-off Per Layer (asphalt shingle, metal, membrane, etc.): \$125 per Square
- Chimney Counter-Flashing Replacement: Standard Sizes - \$550 (Lead) / \$750 (Copper); Large chimneys will be priced on a case-by-case basis
- Metal Chimney Flashing Replacement (Galvanized Stove Pipe Flashing, Class A, 8" - 10" diameter): \$235 each
- Skylight Replacement (Labor Only): \$750 per unit. This includes exterior work only. Any interior work will be extra and factored in on a Time and material basis. The cost of the skylight unit and flashing kits will be calculated once field measurements can be taken.

1) The pricing and estimate provided by Bannister Custom Exteriors are based solely on their visual inspection of the site. However, it's important to note that Bannister has not conducted any scans or testing, such as infrared scans, nuclear scans, destructive testing, or water testing. Therefore, Bannister cannot guarantee that no additional problems will be discovered once the replacement or repairs begin. It's important for the customer to acknowledge and understand that new or additional issues not seen during Bannister's initial visual inspection may be uncovered once the work has started. If such issues arise, Bannister will adjust the price and time to complete the repairs based on reasonable additional costs and time required to address these problems.

2) Bannister Custom Exteriors will provide the necessary labor and materials to complete the work mentioned in the contract documents. However, it's important to note that Bannister is not a licensed architect or engineer and does not provide architectural, engineering, or consulting services. As the owner, it's your responsibility to hire a licensed architect or engineer to ensure the structural integrity and proper design of your project, including compliance with all applicable ordinances, codes, and regulations. If you have provided plans, specifications, or other design documents to Bannister, you warrant that they are sufficient and conform to all applicable laws and building codes. Bannister will not be held responsible for any loss, damage, or expense arising from defects in plans or specifications or building code violations unless such damage results from a deviation by Bannister from the contract documents. It's important to note that the customer warrants that all structures are in sound condition and capable of withstanding normal roofing construction equipment and operations and that the work to be performed is also sound. Bannister Custom Exteriors is not responsible for the location of roof drains, adequacy of drainage, or water ponding on the roof.

3) Before commencing any roofing or siding operations on an existing building, the customer acknowledges the possibility of disturbance, dust, or debris entering the interior. As a precaution, the customer agrees to remove or protect any property directly below the roof and along all exterior walls to minimize potential damage to the interior. Bannister Custom Exteriors will not be held responsible for any disturbance, damage, clean-up, loss of use, or loss to interior property that the customer did not remove or protect during the project.

Bannister Custom Exteriors will attempt to confirm the project start date and schedule approximately one week prior, along with providing information for tenants about when to move their vehicles and items on decks. However, there may be instances where this is not possible. The responsibility of informing tenants and building occupants about roofing and/or construction work and ensuring the protection of affected areas lies with the customer.

By entering into this agreement, the customer absolves Bannister Custom Exteriors from any liability pertaining to claims made by uninformed tenants and occupants who failed to implement protective measures.

While we are dedicated to safeguarding your property, we cannot guarantee protection for items such as flower beds, planters, trees, shrubbery, window screens, decks, and any property that wasn't removed or covered before our arrival. Bannister Custom Exteriors is not responsible for any damages incurred.

We kindly ask that all movable items near the project site be put inside or moved away from the building at least 20 ft. or as far as the property allows. If you require Bannister Custom Exteriors to take additional precautions, such as setting up staging around landscaping, mechanical equipment, or placing plywood over decks, there will be an additional cost for any labor and materials required. However, this request needs to be made before any projects begin.

4) Bannister Custom Exteriors is not responsible for any leaks that occur in the existing roof, walls, or other building parts that Bannister has not yet worked on. We are not liable for any damages or leaks due to existing conditions or existing sources of leakage just because we started work on the building.

5) The owner of the property affirms that there is no electrical conduit present within the existing roofing or attached directly to the backside, underside, or topside of the roof deck or exterior wall sheathing. This is important to ensure the safety of Bannister Custom Exteriors' personnel during the installation of new roofing or siding materials. In the event that there is an electrical conduit present, the owner shall take the necessary steps to make the area safe for Bannister's personnel. Additionally, the owner will indemnify Bannister from any personal injury, damage, claim, or expense due to unsafe structural conditions. If an electrical conduit is found, the owner will compensate Bannister for any additional time and expense resulting from the presence of such materials. This will ensure that the installation process runs smoothly and safely.

6) If there are multiple layers of roofing and siding, an additional \$125 per square (100 sq ft) will be charged for labor, trash removal, and disposal costs.

7) If any roof decking or wall sheathing needs replacement, or if the roof deck requires covering due to unevenness or improper spacing discovered during the project, there will be an additional cost beyond the contracted price. We will provide you with an estimated extra cost at the time of discovery, and the final cost will be determined upon completion of the project.

8) At the end of each working day, the job site will be made waterproof to prevent water leakage.

9) Clean-up and trash removal services are included in the project. Our team will ensure that the job site is picked up daily, and a final clean-up will be performed after the project is completed. We will make every effort to pick up all the roofing debris, including fasteners, felt paper, etc. However, please note that we cannot be held responsible for any debris that may be overlooked due to job site conditions such as landscaping, leaves, snow, or any other factors.

10) For projects that cost more than \$10,000, we will need a deposit to secure the necessary materials. The deposit amount will depend on the specific requirements of the project. Additionally, we will require a signed copy of the estimate before we schedule any work. **Final payments are due on the last day of the project, unless alternative arrangements have been made with our office in advance.** If you need to make alternative arrangements, please contact our office Monday through Friday between 8 am and 4 pm (hours may vary in winter).

11) **5-year Workmanship Warranty.** Bannister Custom Exteriors guarantees the homeowner that the roof installation will be free of defects in workmanship. Should a failure occur due to defects in workmanship that may cause leakage or loss of shingles, Bannister Custom Exteriors will repair such problems by supplying labor for as long as the warranty term. This warranty is transferable one time to your buyer for the duration of the original warranty term. The warranty items are to be repaired only by Bannister Custom Exteriors, and the customer must notify Bannister Custom Exteriors within 48 hours after the problem has been discovered. Bannister Custom Exteriors will not be liable for roof or structural damage resulting from normal wear and tear, including but not limited to ice damage, hailstorms, foreign objects, hurricane-force wind, or rain. The duration of the manufacturer's warranty is determined by the product being installed and is offered exclusively by the manufacturer directly.

12) Please be advised that prices of steel products, other metals, asphalt, polyisocyanurate, additional roofing components, and siding products are subject to unusual price volatility. These conditions are beyond the control or anticipation of the contractor. If there is a substantial increase (5% or more) in the prices of these or other roofing and siding products between the date of the contractor's proposal and the time when the work is to be performed, the amount of the contract may be increased to reflect the additional cost to the contractor. The contractor will provide as much notice as possible before the increase takes effect.

13) This estimate is valid for 30 days from the issue date unless otherwise approved; it may be withdrawn if not accepted within this time frame.

Bannister Custom Exteriors is a fully insured contracting company to better protect and serve you. *Bannister Custom Exteriors is a DBA of Bannister Roofing & Siding Inc.*

  
Company Authorized Signature

Date 4/8/25

Customer Signature

Date

# TOWN ROAD AND BRIDGE STANDARDS

TOWN OF Elmore, VERMONT

The Legislative Body of the Municipality of Elmore hereby adopts the following Town Road and Bridge Standards which shall apply to the construction, repair, and maintenance of town roads and bridges.

The standards below are considered minimums. Municipalities that have construction standards / specifications in place that exceed the minimum standards: indicate adoption date and include as Appendix C. **Date of Adoption:** April 9, 2025

Municipalities must comply with all applicable state and federal approvals, permits and duly adopted standards when undertaking road and bridge activities and projects.

Any new road regulated by and/or to be conveyed to the municipality shall be constructed according to the minimum of these standards.

For adopted Town Road and Bridge Standards to count as one of the four mitigation measures necessary to qualify for an additional 5% State share of funding under a qualifying FEMA Public Assistance disaster, municipalities must select YES for Sections 1, 2, 3, 4, and 7.

Circle YES or NO below to indicate town adoption of that section of the Standards

Road and Bridge Standards Sections	Hydrologically-connected road segments*	Non-hydrologically-connected road segments**
Section 1 – Municipal Road Standards	<input checked="" type="radio"/> YES (Required by Act 64)	<input checked="" type="radio"/> YES <input type="radio"/> NO
Section 2 – Class 4 Road Standards	<input checked="" type="radio"/> YES (Required by Act 64)	YES <input checked="" type="radio"/> NO
<b>Town wide</b>		
Section 3 - Perennial stream- bridge and culvert standards	YES (Required by DEC Stream Alteration Standard)	
Section 4 – Intermittent stream crossings	<input checked="" type="radio"/> YES <input type="radio"/> NO	
Section 5 - Roadway construction standards	<input checked="" type="radio"/> YES <input type="radio"/> NO	
Section 6 - Guardrail standard	<input checked="" type="radio"/> YES <input type="radio"/> NO	
Section 7 - Driveway access standard	<input checked="" type="radio"/> YES <input type="radio"/> NO	

**Road segments** – ANR Resources Atlas includes a map layer of all of Vermont’s municipal roads divided into 100-meter (328 foot) segments, each with a unique identification number.

**\*Hydrologically-connected road segments** - are those municipal road segments, Class 1-4, as shown on the ANR Natural Resources Hydrologically-connected municipal road segment layer or the Road Erosion Scoring (MRGP) layer.

<http://anrmaps.vermont.gov/websites/anra5/>

**\*\*Adoption of standards on non-hydrologically-connected road segments** does not indicate that these road segments are then subject to the Municipal Roads General Permit (MRGP).

Municipalities may also find additional resources in the latest version of the Vermont Better Roads Manual.

<https://vtrans.vermont.gov/sites/aot/files/highway/documents/ltf/Better%20Roads%20Manual%20Final%202019.pdf>

### Road and Bridge Standards Sections

**Section 1 – Municipal Road standards** - See Appendix A

These standards are required by Act 64 and the DEC Municipal Roads General Permit (MRGP) for hydrologically-connected roads only.

Municipalities may adopt Section 1 Road standards by road type for non-hydrologically-connected roads/segments.

**Section 2 – Class 4 Road Standards - See Appendix A**

**Section 3 - Perennial stream - bridge and culvert standards**

Bridge and culvert work on perennial stream crossings must conform with the statewide DEC Stream Alteration Standard.

*“Perennial stream”* means a watercourse or portion, segment, or reach of a watercourse, generally exceeding 0.25 square miles in watershed size, in which surface flows are not frequently or consistently interrupted during normal seasonal low flow periods. Perennial streams that begin flowing subsurface during low flow periods, due to natural geologic conditions, remain defined as perennial. All other streams, or stream segments of significant length, shall be termed intermittent. A perennial stream shall not include the standing waters in wetlands, lakes, and ponds.

Streambank stabilization and other in-stream work must conform with the statewide DEC Stream Alteration Standard.

For River Management Engineer Districts: [https://dec.vermont.gov/sites/dec/files/wsm/rivers/docs/RME\\_districts.pdf](https://dec.vermont.gov/sites/dec/files/wsm/rivers/docs/RME_districts.pdf)

**Section 4 – Intermittent stream crossings – See Appendix B for sizing table and graphic**

*“Intermittent streams”* are defined as streams with beds of bare earthen material that run during seasonal high flows but are disconnected from the annual mean groundwater level.

**Section 5 - Roadway construction standards – Sub-base and gravel standards**

All new or substantially reconstructed gravel roads shall have at least a 12 inches\* thick gravel sub-base, with an additional 3 inches\* (minimum) top course of crushed gravel.

All new or substantially reconstructed paved roads shall have at least 15 inches\* thick gravel sub-base.

\*Municipalities to indicate their own construction criteria

**Section 6 - Guardrail standard**

When a roadway, culvert, bridge, or retaining wall construction or reconstruction project results in hazards such as foreslopes, drop offs, or fixed obstacles within the designated clear-zone, a roadside barrier shall be installed. For roadway situations, an approved barrier system is steel beam guardrail with 6-foot posts. If there is less than 3 feet from the rail to the hazard, then steel beam guardrail with 8-foot posts shall be used. The G-1D is an approved guardrail end treatment that shall be installed on guardrail approaches. For bridge rails systems, Vtrans bridge rail standards shall be referenced. For situations that don't allow for the above treatments, then the most current version of the AASHTO Roadside Design Guide will govern the analysis of the hazard and the subsequent treatment of that hazard.

**Section 7 - Driveway access standard**

The municipality has a process in place, formal or informal, to review all new drive accesses and development roads where they intersect town roads, as authorized under 19 V.S.A. Section 1111. Municipality may reference Vtrans Standard A-76 Standards for Town & Development Roads and B-71 Standards for Residential and Commercial Drives; the Vtrans Access Management Program Guidelines; and the latest version of the Vermont Better Roads Manual for other design standards and specifications.

Passed and adopted by the Legislative Body of the Municipality of Elmore, State of Vermont on April 9, 2025

Selectboard / City Council / Village Board of Trustees:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# Appendix A

## Section 1: MUNICIPAL ROAD STANDARDS

The following standards constitute the minimum required Best Management Practices (BMPs) for municipal roads. These standards shall apply to the construction, repair, and maintenance of all town roads and bridges. Municipalities are required to conform to these standards for all hydrologically-connected roads under the Municipal Roads General Permit. A municipality may elect to adopt these standards as applicable to both hydrologically-connected and non-hydrologically connected municipal roads. For non-hydrologically connected roads, these standards only apply to new road and drainage construction.

It is the municipality's responsibility to maintain all practices after installation. Roads not meeting these standards must implement the BMPs listed below in order to meet the required town's standards.

### Feasibility

Municipalities shall implement these standards to the extent feasible. In determining feasibility, municipalities may consider the following criteria: The implementation of a standard listed in of this documentation does not require the acquisition of additional state or federal permits or noncompliance with such permits, or noncompliance with any other state or federal law. The implementation of a standard does not require the condemnation of private property; impacts to significant environmental and historic resources, including historic stone walls, historic structures, historic landscapes, or vegetation within 250 feet of a lakeshore; impacts to buried utilities; and excessive hydraulic hammering of ledge.

### Standards for All Construction and Soil Disturbing Activities

Following construction and soil disturbance on a road, all bare or unvegetated areas shall be revegetated with see and mulch, hydroseeded, or stone lined within 5 days of disturbance of soils, or, if precipitations is forecast, sooner.

### Standards for Gravel and Paved Roads with Ditches

#### Baseline Standards for Gravel and Paved Roads with Ditches

The following are the standards for all gravel and paved municipal roads with drainage ditches, whether or not erosion is present. These standards also apply to all new construction and significant upgrades of stormwater treatment practices.

##### A. Roadway/Travel Lane Standards

1. Roadway Crown

- a. Gravel roads shall be crowned, in or out-sloped:

Minimum:  $\frac{1}{4}$ " per foot

Recommended:  $\frac{1}{4}$ " –  $\frac{1}{2}$ " per foot or 2% - 4%

- b. Paved/ditched roads shall be crowned during new construction, redevelopment, or repaving where repaving involves removal of the existing paving.

Minimum:  $\frac{1}{8}$ " per foot or 1%

Recommended: 1% - 2%

2. Shoulder berms (also called Grader/Plow Berm/Windrows)

Shoulder berms shall be removed to allow precipitation to shed from the travel lane into the road drainage system. Roadway runoff shall flow in a distributed manner to the drainage ditch or filter area and there shall be no shoulder berms or evidence of a "secondary ditch". Shoulder berms may remain in place if the road crown is in-sloped or out-sloped to the opposite side of the road from berm side of road. The shoulder berm standard only applies to gravel roads with drainage ditches.

B. Road Drainage Standards

Roadway runoff shall flow in a distributed manner to grass or a forested area by lowering road shoulders or conversely by elevating the travel lane level above the shoulder. Road shoulders shall be lower than travel lane elevation. If distributed flow is not possible, roadway runoff may enter a drainage ditch, stabilized as follows:

1. For roads with slopes between 0% and 5%: At a minimum, grass-lined ditch, no bare soil. Geotextile and erosion matting may be used instead of seed and mulch. Alternatively, ditches may be stabilized using any of the practices identified for roads with slopes 5% or greater included in subpart B.2 below.

Recommended shape: trapezoidal or parabolic cross section with mild side slopes; 2 foot horizontal per 1 foot vertical or flatter and 2 foot ditch depth.

2. For roads with slopes 5% or greater but less than 8%:

- a. Stone-lined ditch: minimum 6" – 8" minus stone or the equivalent for new practice construction. Recommended 2 foot ditch depth from top of stone-lined bottom,
- b. Grass-lined ditch with stone check dams<sup>1</sup>, or
- c. Grass-lined ditch if installed with disconnection practices such as cross culverts and/or turnouts to reduce road stormwater runoff volume. There shall be at least two cross culverts or turnouts per segment disconnecting road stormwater out of the road drainage network into vegetated areas, or spaced every 160'.

3. For roads with slopes of 8% or greater: Stone-lined ditch.

- a. For slopes greater than or equal to 8% but less than 10%:

<sup>1</sup> See check dam installation specifications.

minimum 6" – 8" minus stone or the equivalent for new construction. Recommended 2 foot ditch depth from top of stone-lined bottom.

- b. For slopes greater than 10%: minimum 6" – 8" minus stone. Recommended 12" minus stone or the equivalent. Recommended 2 foot ditch depth from top of stone-lined bottom.

4. If appropriate, bioretention areas, level spreaders, armored shoulders, and sub-surface drainage practices may be substituted for the above road drainage standards.

#### C. Drainage Outlets to Waters & Turnouts

Roadway drainage shall be disconnected from waterbodies and defined channels, since the latter can act as a stormwater conveyance, and roadway drainage shall flow in a distributed manner to a grass or forested filter area. Drainage outlets and conveyance areas shall be stabilized as follows:

1. Turn-outs – all drainage ditches shall be turned out to avoid direct outlet to surface waters.
2. There must be adequate outlet protection at the end of the turnout, based upon slope ranges below. Turnout slopes shall be measured on the bank where the practice is located and not based on the road slope.
  - a. For turnouts with slopes of 0% or greater but less than 5%: stabilize with grass at minimum. Alternatively, stabilize using the practices identified in subpart b – c below, when possible.
  - b. For turnouts with slopes 5% or greater: stabilize with stone.
  - c. For slopes greater than 5% but less than 10%: minimum 6" – 8" minus stone or the equivalent for new construction.
  - d. For slopes greater than 10%: minimum 6" – 8" minus stone or equivalent for new construction. Recommend 12" minus stone or the equivalent.

#### **Standards if Rill or Gully Erosion is Present on Gravel and Paved Roads with Ditches**

The following are the required standards for all gravel and paved roads with ditches where rill or gully erosion is present. These standards also apply to new construction and significant upgrades of stormwater treatment practices.

##### 1. Municipal Culverts

1. Culvert end treatment or headwall required for areas with road slopes 5% or greater if erosion is due to absence of these structures. End treatment or headwall is required for new construction on slopes 5% or greater.
2. Stabilize outlet such that there will be no scour erosion, if erosion is due to absence or inadequacy of outlet stabilization. Stone aprons or plunge pools required for new construction on road slopes 5% or greater.

3. Upgrade to 18" culvert (minimum), if erosion is due to inadequate size or absence of structure.
  4. A French Drain (also called an Underdrain) or French Mattress (also called a Rock Sandwich) sub-surface drainage practice may be substituted for a cross culvert.
2. Driveway Culverts within the municipal ROW
1. Culvert end treatment or headwall required for areas with road slopes of 5% or greater, if erosion is due to absence of these structures. End treatment or headwall is required for new construction.
  2. Stabilize outlet such that there will be no scour erosion, if erosion is due to absence or inadequacy of outlet stabilization. Stone aprons or plunge pools required for new construction.
  3. Upgrade to minimum 15" culvert, 18" recommended, if erosion is due to inadequate size or absence of structure.

### **Standards for Paved Roads with Catch Basins**

Catch Basin Outlet Stabilization: All catch basin outlets shall be stabilized to eliminate all rill and gully erosion. Catch basin outfall stabilization practices include: stone-lined ditch, stone apron, check dams and culvert header/headwall.

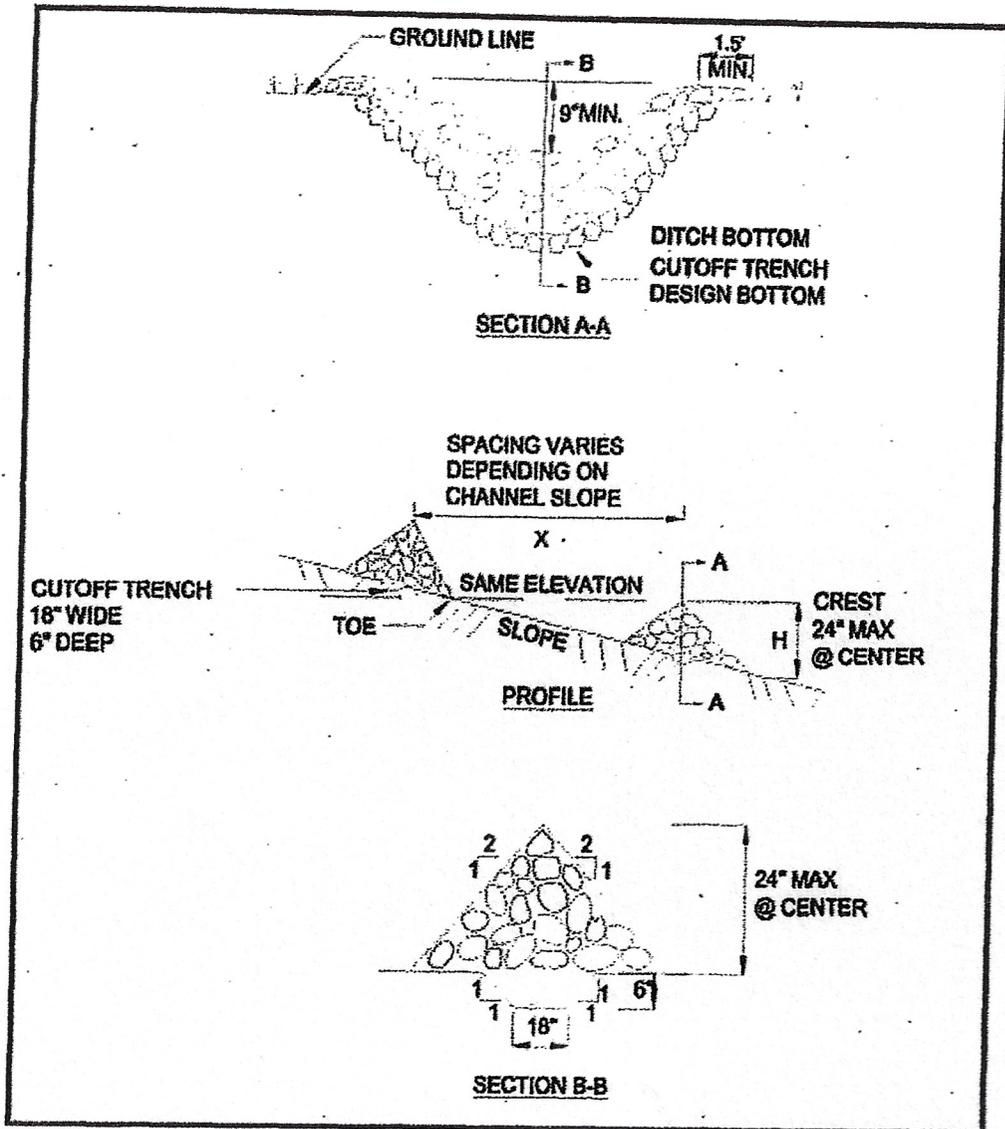
### **Stone Check Dam Specification**

- Height: No greater than 2 feet. Center of dam should be 9 inches lower than the side elevation
- Side slopes: 2:1 or flatter
- Stone size: Use a mixture of 2 to 9 inch stone
- Width: Dams should span the width of the channel and extend up the sides of the banks
- Spacing: Space the dams so that the bottom (toe) of the upstream dam is at the elevation of the top (crest) of the downstream dam. This spacing is equal to the height of the check dam divided by the channel slope.

$$\text{Spacing (in feet)} = \frac{\text{Height of check dam (in feet)}}{\text{Slope in channel (ft/ft)}}$$

- Maintenance: Remove sediment accumulated behind the dam as needed to allow channel to drain through the stone check dam and prevent large flows from carrying sediment over the dam. If significant erosion occurs between check dams, a liner of stone should be installed.

**Check Dam Specification:**



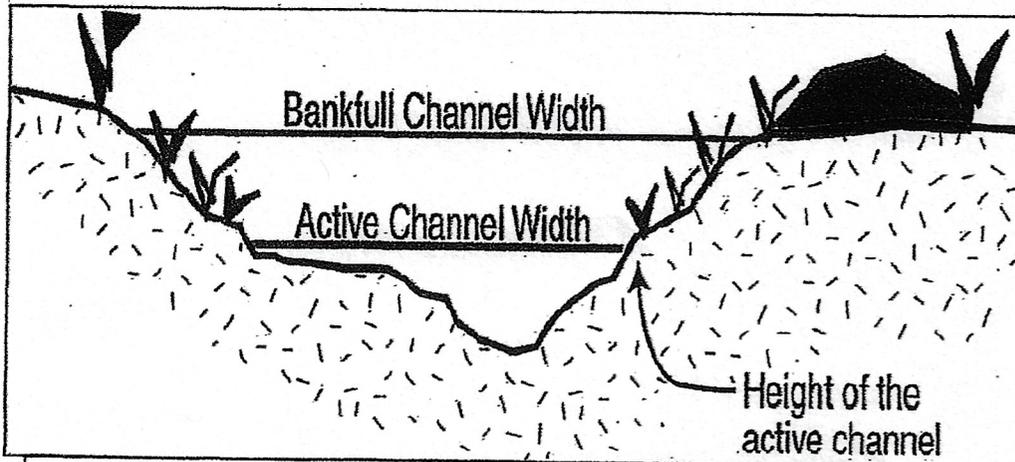
**Section 2: STANDARDS FOR CLASS 4 ROADS**

Stabilize any areas of gully erosion with the practices described above or equivalent practices. Disconnection practices such as broad-based dips and water bars may replace cross culverts and turnouts.

**Appendix B**  
**Active Channel Culvert Sizing for Intermittent Stream Crossings**  
 Choose the drainage area closest to your crossing site drainage area

Drainage Area (Acres)	Minimum Diameter for Culverts on Intermittent Streams <i>(in inches)</i>
4	15
8	18
16	24
20	30
40	36
50	42
80	48
120	60
160	66
200	<i>Streams with drainage areas of 160 acres or greater are likely to be perennial. Adhere to the VTDEC Technical Guidance for Identification of Perennial Streams</i>
320	
350	
450	
640	

**Active Channel Width**



**Active Channel Width** means the limits of the streambed scour formed by prevailing stream discharges, measured perpendicular to streamflow. The active channel is narrower than the bankfull width (approximately 75%) and is defined by the break in bank slope and typically extends to the edge of permanent vegetation.

**Culvert sizing for crossings on intermittent streams:** Determine the Active Channel Width by field measurements, *the culvert size should meet or exceed the Active Channel Width*. To obtain the measurements go to the crossing location and obtain several upstream Active Channel Width measurements in riffle (fast moving water) narrower channel locations. The selected channel width should be a representative

## Road Commissioner Report

April 9, 2025

This report covers from March 13, 2025.

Main topic at this time of year is mud season. This year we're experiencing not too much. Frost was deep and it made the clay and some culverts move as usual. We have used 12 loads of stone/gravel mix to get thru the worst spots for now. The wind has been good to help dry out the roads. Grading has been minimal to keep a hard crust on the surface.

### Work to date:

1. Hauling stone to stockpile for mud season 7 loads 84 yds.
2. Grader is out when weather permits. First was to just fix muddy spots, but were able to start grading certain stretches.
3. Couple culverts had some issues in causing sink holes. They have been patched and moved up the priority list. Other will need attention.
4. Dealt with 2 good snow storms and several freezing rain events.
5. Took several days to haul in sand to keep up with demand.

### Equipment:

1. Winter equipment taken off grader. Bit blade put on moldboard for spring grading. This blade leaves small lines as we grade to help dry out the surface.
2. Wings will be coming off the truck as roads are too soft to use them.
3. Will prep sweeper to clean paved surfaces.

### Other:

1. Fema June 2024 flood event has been approved for reimbursement. We claimed \$42,058.00 in damages. Fema's share is \$31,544.00. Hope to see the fund's before the budget year ends. Fema for July flood is moving along I am about three quarters thru the paper work on my end, also waiting for documents from ANR that will also be needed.
2. Grants: We have a grant in aid grant for Camp road. Was originally for \$12,500.00. Now has been lowered to \$9,500.00. Work to start at beginning of Camp road, out to hopefully the 300 mark. Symond's mill road, applied for a better roads grant to change out a culvert by Elmore roots. East Elmore road was looking for a class 2 grant to change the arch culvert there. State sent out an email yesterday saying they only have enough funds to give grants to 25% of those that have applied. Funds for these grants come from the clean water act.
3. This summer in hopes to inspect all the culverts in town and repair those in need. Inlets and outlets, armoring and check dams.
4. Spring cleanup of down trees and brush.
5. Green up day is May 3. Trash container and area's set aside for tires and scrape metal will be at our new shop. Bags can be pickup at the Town Clerk's office and the Town Garage. A container will have outside the town garage door for afterhours pickup

## **ELMORE ZONING ADMINISTRATOR REPORT**

This report covers March 1 thru March 31, 2025.

### **Tasks included:**

- 14 days in the office
- Continued processing current pending applications – 7
- Office conferences with landowners, surveyors, brokers, attorneys and engineers – 15
- Phone inquiries - 2
- Site visits – 1
- Application consultation & assistance – 3
- Response to tree cutting requests and Shoreland activities, State Reports – 1
- Land Record research – 2
- Planning Commission support & Meeting– 3
- Selectboard meeting, follow up & prep – 2
- NOAV (Notice of alleged violation) – 3
- Forms update – 3 (Interested Persons, Cert of Compliance, Fees)
- Correspondence & Inquiries – 2
- Environmental Board attention – 0
- Private Road research & conf – 0
- DRB Agenda, Warnings, prep, Hearings, Draft Findings & Decisions – 13
- Listers assistance – 6
- VLCT & Professional inquiries – 0
- Forest Land, large parcel research – 1
- Driveway and Curb Cut assistance, policy research – 0
- Office Admin, Zoning Index support, web site support, printer – 5
- Front Porch Forum articles -1

### **March Project Activity:**

Prepare and submit monthly U.S. Census Bureau report.

WEB Site maintenance.

Submitted proposed fee adjustments to Selectboard for adoption at April SB Meeting

Additional material sent for Annual Shoreland Report to Agency of Environmental Conservation.

Prepared material for DRB Required Training.

Prepared DRB Rules of Procedure and Conflict of Interest Policy for Board Adoption.

Worked on Developed Shoreland District Tree Evaluation and Removal procedure

**Areas meriting ongoing ZA study:**

Inquiries into Elmore's **Local Option Tax** and participants. Has ramifications in short-term rentals. Exploring aspects of zoning Regs as they apply to rentals. What effects are there on available long-term rentals.

Large landowner and Use Value parcels in Elmore and recent **conservation easements** and effects on tax revenue.

Parcels on west sides of VT RT 12, Elmore Mt RD and Beach RD which are in the **Forest Reserve District**. May be unduly restrictive.

Increase exemption of accessory buildings from 80 square feet to 160 or 250 square feet.

**MARCH ZONING APPLICATIONS:**

**\*\*DUNN, JOHN & HARTIGAN, MEGAN    END OF KING RD    12' X 20' SHED**

**\*\* Required Notice posting, AND notice to surrounding property owners.**

**APPLICATION COMPARISONS JAN THRU MARCH:**

2025 8

2024 11

2023 1

2022 6

2021 5

2020 5

**Charles Burnham,**

**Zoning Administrator**

**PROPOSED**  
**ZONING AND SUBDIVISION APPLICATIONS**  
**FEE SCHEDULE**  
**TOWN OF ELMORE VERMONT**  
 Effective May 1, 2025

**RECORDING FEES** – Per State Statutes

Per Page Text	\$ 15.00
Per Mylar Plat or Plan	\$ 25.00
Per Permit Notice	\$ 15.00

**PERMITTED USE**

Single Family Residence (SFR)	\$ 250.00 + .25/sf*
Addition/Auxiliary Structure/Garage	\$ 150.00 + .25/sf*
Change of Use/Home Occupation	\$ 125.00
Additional Dwelling Unit (ADU)	\$ 250.00 + .25/sf*
Signs	\$ 50.00
Sheds/woodsheds (80 to 250 sq ft)	\$ 75.00

**CONDITIONAL USE/VARIANCE – 8.4**

Residential/Commercial/Ind/Recreational/Forest Res	\$ 250. + .25/sf*
Additions/Auxiliary structures/Camps	\$ 150. + .25/sf*
New fences, ponds, pools, landscape	\$ 125.00

**HIGHWAY ACCESS PERMIT**

\$ 100.00

**PERMIT RENEWALS**

Before expiration	\$ 125.00
After expiration or after Notice of Alleged Violation (NOAV)	\$ 250.

**SUBDIVISIONS AND WARNED HEARINGS**

Boundary Line Adjustment - 6.3	\$ 300.
Plan review/Sketch Plan Review - 6.4	\$ 125. + \$25/lot
Final Subdivision Review - 6.5	\$ 250./lot

**Z.A. CERTIFICATIONS OR WRITTEN DECISIONS - 8.2**

\$ 125.

**APPEAL OF ZONING ADMINISTRATOR'S DECISIONS TO DRB – 8.3**

\$ 250.

**TREE REMOVAL PERMISSIONS IN DSHR – 2.6**

\$ 100.

\*Square ft = all floors (Finished and unfinished)

V1.2

Approved by the Elmore Selectboard \_\_\_\_\_, 2025

<b>ZONING FEE COMPARISONS</b>		<b>CB 4/9/2025</b>				
<b>DESCRIPTION</b>	<b>ELMORE 2019</b>	<b>ELMORE PRE 2019</b>	<b>MO-TOWN</b>	<b>STOWE</b>	<b>ELMORE 2024</b>	<b>ELMORE 2025 PROPOSED</b>
<b>COPY FEES</b>						
ZONING BYLAWS	10	5			WEB	WEB
TOWN PLAN	20	5			WEB	WEB
OTHER					1./PG	
<b>RECORDING FEES</b>						
PER PAGE TEXT	15	0	15	15	15	15
PER MYLAR	25	0	25	25	25	25
PER PERMIT(Reqd for all permits)	15	10		15/Pg	15/PG	15/PG
E-911 ADDRESS REQUEST					0	0
<b>PERMITTED USE</b>						
SINGLE FAMILY RESIDENCE	100+.12/sf	.12/sf	.40/SF	60+.30/SF	250+.25/SF	250+.25/SF*
ADDITION/AUXILLIARY STRUCTURE	50+.12/sf	.10/SF	.20/SF	.10/SF	125+.25/SF	150+.25/SF*
CHANGE USE/HOME OCCUPATION	100+.12/sf	50			125	125
SIGNS	100	25			50	50
ADDITIONAL DWELLING UNIT(ADU)					250	250+.25/SF*
SHEDS, WOODSHEDS					75	75
<b>CONDITIONAL USE</b>						
RES/COMM/IND/RECREATIONAL	100+.20/sf	100	.40/SF	250	100+.25/SF	250+.25/SF*
ADDITIONS/AUX STRUCTURE	100+.15/sf	50	.20/SF		75+.25	150+.25/SF*
SIGNS	100	25		70	50	50
<b>NEW FENCES, PONDS, LANDSCAPE</b>						
	100	25		60	125	125
<b>ACCESS PERMIT</b>						
	100	25	50		100	100
<b>PERMIT RENEWALS</b>						
BEFORE EXPIRATION	50	25/10/50			125	125
AFTER EXPIRATION/AFTER NOAV	100	50/25/100			250	250

ZONING FEE COMPARASON		PAGE 2					
DESCRIPTION	ELMORE	ELMORE	MO-TOWN	STOWE	ELMORE	ELMORE	
	2019	PRE 2019			2024	2025	PROPOSED
DRB HEARINGS - Variance, Waiver	100		150/250		250	250	
APPEALS OF ZA DECISIONS	125		250	250	250	250	
<b>SUBDIVISIONS</b>							
PLAN REVIEWS - SKETCH				250+250/L	125+25/lot	125+25/lot	
MINOR (1 lot)	125	50			250/LOT	250/LOT	
MAJOR (2+ lots)	150+75/lot	125/LOT	200/LOT		250/LOT	250/LOT	
RENEWALS	50/100						
LINE ADJUSTMENT	50/LINE		105	100	300	300	
WARNED HEARINGS	50/LOT				100/LOT		
<b>OTHER ZA CERTIFICATIONS</b>							
Tree removal in DSHR.	100				100	125	
DEVELOPMENT BEFORE PERMIT			2X		2X	2X	
MAX FEE			5,000		4,000		
* = Square ft = all floors (Finished and unfinished)							
<b>EXAMPLE: 2,500 SF HOME</b>							
	MORRISVILLE		1,000.00				
	STOWE		810				
	ELMORE PRE 2019		300				
	ELMORE - CURRENT		875				
	ELMORE -PROPOSED		875				